



NOMINAL LOCATION MINIMUM 100000
LITRE IN GROUND CONCRETE RAINWATER,
TO COLLECT RAIN WATER RUNOFF FROM
AT LEAST 446m² OF ROOF AREA. TANK
TO BE CONNECTED TO COLD TAP THAT
SUPPLIES EACH CLOTHES WASHER AND
LEAST 1 EXTERNAL TAP.

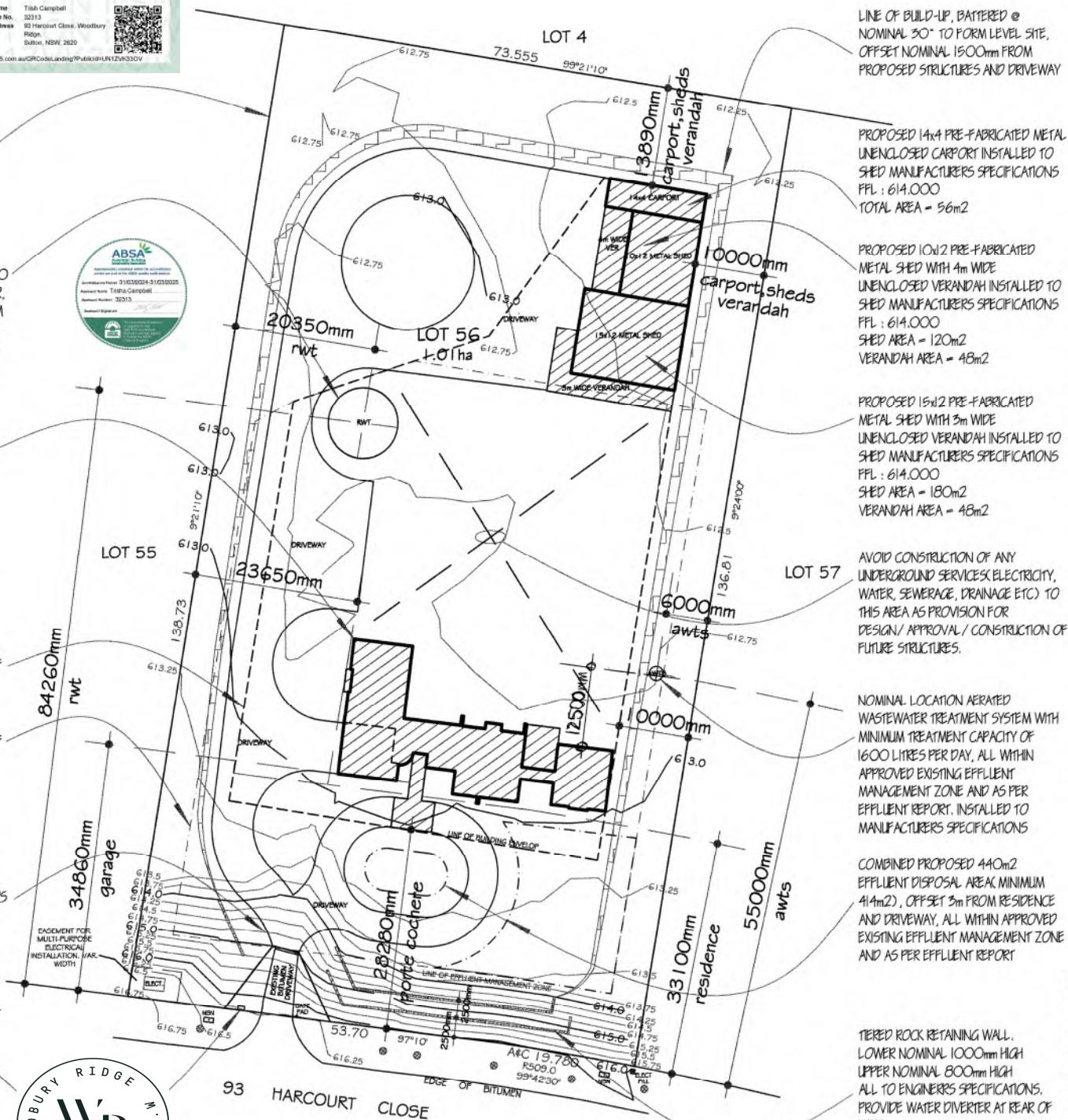
PROPOSED RESIDENCE ORIENTATED 7°
EAST OF TRUE NORTH
PFL : 614.000
AREAS:
LIVING - 320.9m2
GARAGE - 55.9m2
PORTE COCHERE - 37.6m2
ALFRESCO - 28.8m2
PORCH - 2.8m2
TOTAL - 446.0m2

APPROVED EXISTING PERIMETER LINE OF
BUILDING ENVELOP

APPROVED EXISTING PERIMETER LINE OF
EFFLUENT MANAGEMENT ZONE

INTERNAL PERMEABLE DRIVEWAY TO SHOWN CONFIGURATION WITH 7m OFFSET FROM SIDE BOUNDARY, CONNECTED INTO EXISTING DEVELOPERS ENTRY DRIVEWAY.

NOMINAL 590Dx950Wx1200H FRONT
ENTRY LETTER BOX, RENDERED TO
COMPLEMENT RESIDENCE



LINE OF BUILD-UP, BATTERED @
NOMINAL 30° TO FORM LEVEL SITE,
OFFSET NOMINAL 1500mm FROM
PROPOSED STRUCTURES AND DRIVEWAY

PROPOSED 14x4 PRE-FABRICATED METAL
UNENCLOSED CARPORT INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
FFL : 614.000
TOTAL AREA = 56m2

PROPOSED LOW 2 PRE-FABRICATED
METAL SHED WITH 4m WIDE
UNENCLOSED VERANDAH INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
FFL : 614.000
SHED AREA = 120m²
VERANDAH AREA = 48m²

PROPOSED 15x12 PRE-FABRICATED
METAL SHED WITH 3m WIDE
UNENCLOSED VERANDAH INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
SHED AREA = 180m²
VERANDAH AREA = 48m²

AVOID CONSTRUCTION OF ANY UNDERGROUND SERVICES (ELECTRICITY, WATER, SEWERAGE, DRAINAGE ETC) TO THIS AREA AS PROVISION FOR DESIGN/ APPROVAL/ CONSTRUCTION OF FUTURE STRUCTURES.

NOMINAL LOCATION AERATED WASTEWATER TREATMENT SYSTEM WITH MINIMUM TREATMENT CAPACITY OF 1600 LITRES PER DAY, ALL WITHIN APPROVED EXISTING EFFLUENT MANAGEMENT ZONE AND AS PER EFFLUENT REPORT. INSTALLED TO MANUFACTURERS SPECIFICATIONS

COMBINED PROPOSED 440m²
EFFLUENT DISPOSAL AREA MINIMUM
414m², OFFSET 3m FROM RESIDENCE
AND DRIVEWAY, ALL WITHIN APPROVED
EXISTING EFFLUENT MANAGEMENT ZONE
AND AS PER EFFLUENT REPORT

TIERED ROCK RETAINING WALL.
LOWER NOMINAL 1000mm HIGH
UPPER NOMINAL 800mm HIGH
ALL TO ENGINEERS SPECIFICATIONS.
PROVIDE WATER DIVERTER AT REAR OF
WALL.

ALL WORKING DRAWING PAGES MUST BE READ IN CONJUNCTION WITH EACH OTHER AS ONE DOCUMENTATION.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE.
WORKING DRAWINGS MUST BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEY DETAILS AND ANY OTHER RELEVANT DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED BEFORE THE ORDERING AND/ OR PLACING OF ANY MATERIALS. DESIGNER ACCEPTS NO RESPONSIBILITY FOR MISINTERPRETED DRAWINGS AND/ OR CONSTRUCTION ERRORS.

STORMWATER SLUICPS TO BE LOCATED ON SITE

DESIGNER ACCEPTS NO RESPONSIBILITY FOR BUILDER/ CONTRACTORS
AND/ OR ANY OTHER PERSON(S) SAFETY. ANY PERSON(S) WHO ENTERS
CONSTRUCTION SITE, DOES SO AT OWN RISK.

SCOPE OF WORKS -

PROPOSED NEW 4 BEDROOM AND STUDY SINGLE STOREY RESIDENCE,
AS PER BUILDERS PROJECT SPECIFICATIONS, CLIENT SPECIFICATIONS
AND WORKING DRAWING DOCUMENTATION.

BUSHFIRE PROTECTION MEASURES:

BUSHFIRE ATTACK LEVEL (BAL) 29
BUILDING CONSTRUCTION MUST COMPLY WITH AS3959-2018
"CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

PROPOSED AREAS OF DEVELOPMENT PROPOSAL
RESIDENCE = 446.0m²
SHEDS AND ASSOCIATED VERANDAS = 420m²
CARPORT = 56m²
RAINFALL TANKS = 78m²
EFFLUENT DISPOSAL AREA (INCLUDING SEWAGE
MANAGEMENT FACILITY) = 440m²
DRIVEWAY = 2070m²
LANDSCAPE VEGETATION = 6590m²

**PROPOSED RESIDENCE ON
LOT 56
93 HARCOURT CLOSE
WOODBURY RIDGE SUTTON**

FOR

J & K LEAHY

SHEET TITLE

SITE PLAN

SCALE

1 : 600

PROJECT CODE DPC1020	SHEET No 1 OF 11	DATE 17/12/2024	DRAWN M.P
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AREAS m ²	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDA :	DECK :
ALFRESCO :	SHED :
P.COCHERE :	TOTAL AREA :

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MULTI-AWARD DESIGNER HIA & MBA WINNER AND FINALIST

Michael Piscone

Architectural
DESIGNER



BOUNDARY FENCING AS PER
"WOODBURY RIDGE" DESIGN
GUIDELINES SPECIFICATIONS

MIX OF DL, DT AND GR

SA SCREEN HEDGE

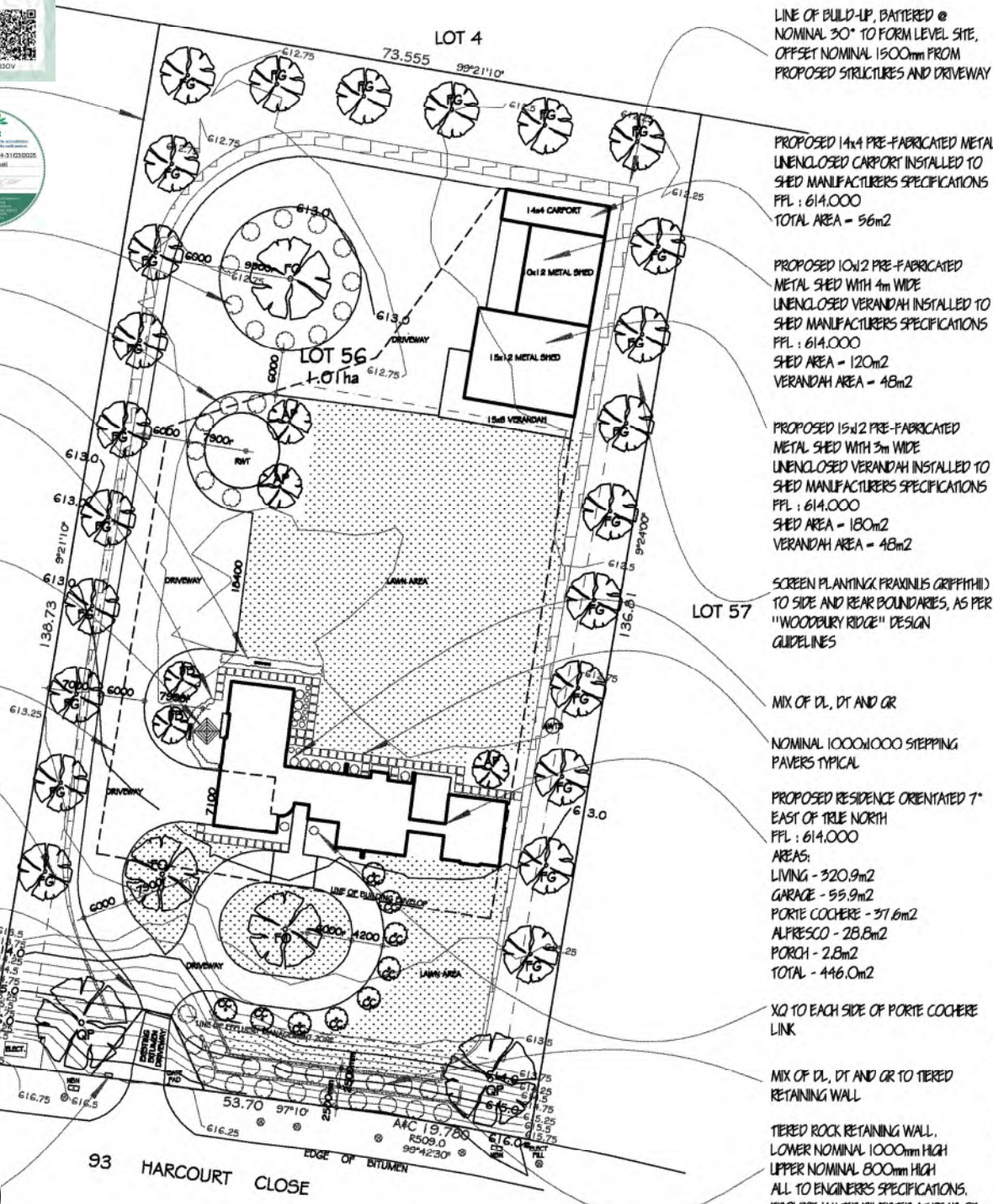
NOMINAL LOCATION OF SCREENED
CLOTHESLINE

APPROVED EXISTING PERIMETER LINE OF
BUILDING ENVELOP

APPROVED EXISTING PERIMETER LINE OF
EFFLUENT MANAGEMENT ZONE

INTERNAL PERMEABLE DRIVEWAY TO
SHOWN CONFIGURATION WITH 7m
OFFSET FROM SIDE BOUNDARY,
CONNECTED INTO EXISTING DEVELOPERS
ENTRY DRIVEWAY.

NOMINAL 5900x5500x2000 FRONT
ENTRY LETTER BOX, RENDERED TO
COMPLEMENT RESIDENCE



LINE OF BUILD-UP, BATTERED @
NOMINAL 30° TO FORM LEVEL SITE,
OFFSET NOMINAL 1500mm FROM
PROPOSED STRUCTURES AND DRIVEWAY

PROPOSED 14x4 PRE-FABRICATED METAL
UNENCLOSED CARPORT INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
TOTAL AREA = 56m²

PROPOSED 10x2 PRE-FABRICATED
METAL SHED WITH 4m WIDE
UNENCLOSED VERANDAH INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
SHED AREA = 120m²
VERANDAH AREA = 48m²

PROPOSED 15x2 PRE-FABRICATED
METAL SHED WITH 3m WIDE
UNENCLOSED VERANDAH INSTALLED TO
SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
SHED AREA = 180m²
VERANDAH AREA = 48m²

SCREEN PLANTING PRAXINUS (GRIFFITHI)
TO SIDE AND REAR BOUNDARIES, AS PER
"WOODBURY RIDGE" DESIGN
GUIDELINES

MIX OF DL, DT AND GR

NOMINAL 1000x1000 STEPPING
PAVERS TYPICAL

PROPOSED RESIDENCE ORIENTATED 7°
EAST OF TRUE NORTH
PFL : 614.000
AREAS:
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GARAGE - 55.9m²
PORTE COCHERE - 37.6m²
ALFRESCO - 28.8m²
PORCH - 2.8m²
TOTAL - 446.0m²

XQ TO EACH SIDE OF PORTE COCHERE
LINK

MIX OF DL, DT AND GR TO TIERED
RETAINING WALL

TIERED ROCK RETAINING WALL,
LOWER NOMINAL 1000mm HIGH
UPPER NOMINAL 800mm HIGH
ALL TO ENGINEERS SPECIFICATIONS,
PROVIDE WATER DIVERTER AT REAR OF
WALL

NOTES:

PLANT SCHEDULE:
DL DIANELLA LONGIFOLIA VAR LONGIFOLIA 140mm POT SIZE
DT DIANELLA TASHMANICA 140mm POT SIZE
GR GREVILLEA ROSAMARINIFOLIA 140mm POT SIZE
XQ XANTHOXERICEA GLAUCA 140mm POT SIZE
SUBSP ANGLUSTIFOLIA

HEDGE
SA SYZYGIUM AUSTRALIA 140mm POT SIZE
TREES
SMALL-MEDIUM
AP ACER PALMATUM 300mm POT SIZE
CC CERES CANADENSIS 300mm POT SIZE
PD FAGUS BERBERIANA 300mm POT SIZE
MEDIUM-LARGE
PG PRAXINUS GRIFFITHI 300mm POT SIZE
PO PRAXINUS OXYCARPA 300mm POT SIZE
QP QUERCUS PALustris 300mm POT SIZE

PLANTING:
75mm DEEP PEBBLE MULCH ON 300mm DEEP IMPORTED TYPE B TOPSOIL
AND CULTIVATED SUBGRADE

GRASED AREA:
GRASS ON 200mm DEEP IMPORTED TYPE B TOPSOIL ON CULTIVATED
SUBGRADE

UNLESS OTHERWISE NOTED, ALL FUTURE LANDSCAPING SHALL BE BY
OWNER

BUSH-FIRE PROTECTION MEASURES:
BUSH-FIRE ATTACK LEVEL (BAL) 29
BUILDING CONSTRUCTION MUST COMPLY WITH AS9999-2018
"CONSTRUCTION OF BUILDINGS IN BUSH-FIRE PRONE AREAS"

PROPOSED RESIDENCE ON LOT 56 93 HARDCOURT CLOSE WOODBURY RIDGE SUTTON

FOR

J & K LEAHY

SHEET TITLE
LANDSCAPE PLAN SCALE
1 : 600

PROJECT CODE	SHEET No	DATE	DRAWN
DPC1020	2 OF 11	17/12/2024	M.P

AREAS m ²	
LIVING UPPER:	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	SHED :
P.COCHERE :	TOTAL AREA :

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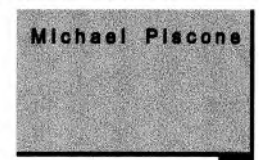
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TO PREVENT TRANSFER OF SEDIMENT TO ADJOINING PROPERTY(S), PROVIDE TEMPORARY SEDIMENT CONTROL GEOTEXTILE FENCE; FIXED TO STAK PICKETS AT MAXIMUM 2m CENTRES AND 600 DEEP.



PROPOSED RESIDENCE ORIENTATED 7° EAST OF TRUE NORTH
PFL : 614.000
AREAS:
LIVING - 320.9m²
GARAGE - 55.9m²
PORTE COCHERE - 37.6m²
ALFRESCO - 28.8m²
PORCH - 2.8m²
TOTAL - 446.0m²

APPROVED EXISTING PERIMETER LINE OF BUILDING ENVELOP

APPROVED EXISTING PERIMETER LINE OF EFFLUENT MANAGEMENT ZONE

PROPOSED INTERNAL DRIVEWAY ENTRY AS STABILISED ACCESS POINT/ CROSSOVER. TO PREVENT TRANSFER OF SOIL TO ROADWAY. PROVIDE RECYCLED CRUSHED CONCRETE TO DEPTH OF 150-200mm WITH AN UNDERLAY OF HEAVY DUTY GEOTEXTILE FABRIC.

SAFETY EVACUATION LOCATION ONLY

UTILISE EXISTING LOCKABLE GATES AS ACCESS FOR BUILDER, CONTRACTORS AND SERVICE/ DELIVERY VEHICLES.



LOT 55

LOT 4

LOT 57

93 HARCOURT CLOSE

LINE OF BUILD-UP, BATTERED @ NOMINAL 30° TO FORM LEVEL SITE, OFFSET NOMINAL 1500mm FROM PROPOSED STRUCTURES AND DRIVEWAY

PROPOSED 14x4 PRE-FABRICATED METAL UNENCLOSED CARPORT INSTALLED TO SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
TOTAL AREA = 56m²

PROPOSED 10x12 PRE-FABRICATED METAL SHED WITH 4m WIDE UNENCLOSED VERANDAH INSTALLED TO SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
SHED AREA = 120m²
VERANDAH AREA = 48m²

PROPOSED 15x12 PRE-FABRICATED METAL SHED WITH 3m WIDE UNENCLOSED VERANDAH INSTALLED TO SHED MANUFACTURERS SPECIFICATIONS
PFL : 614.000
SHED AREA = 180m²
VERANDAH AREA = 72m²

TIERED ROCK RETAINING WALL, LOWER NOMINAL 1000mm HIGH UPPER NOMINAL 800mm HIGH ALL TO ENGINEERS SPECIFICATIONS. PROVIDE WATER DIVERTER AT REAR OF WALL

NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON PUBLIC RESERVE. NO STORAGE SHEDS, AMENITIES OR BILLBOARDS TO BE ERRECTED ON PUBLIC RESERVE. NO CONSTRUCTION MATERIALS INCLUDING STOCK PILING TO BE STORED ON PUBLIC RESERVE.

EXISTING VERGE TREE SAPLINGS TO BE PROTECTED DURING CONSTRUCTION

BUILDERS TEMPORARY SITE FACILITIES
LEGEND :
RE - RUBBISH ENCLOSURE

SS - SITE SIGN
TP - TEMPORARY POWER
TT - TEMPORARY TOILET
TW - TEMPORARY WATER

NOTES:

- ASSET MANAGEMENT GUIDELINES :**
THE PROPOSED DEVELOPMENT HAS NO SIGNIFICANT IMPACT TO LOCAL AUTHORITIES ASSETS.
PROTECT ANY VERGES SERVICE DURING CONSTRUCTION WITH STAKES AND OWN MESH FENCE. FENCING TO BE ERRECTED ON COMMENCEMENT OF SITE WORK AND REMOVED UPON COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION.
ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED VEGETATION THROUGHOUT THE CONSTRUCTION PERIOD
BUILDER MUST ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/ MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES
UPON COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED
NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES/ PUBLIC RESERVES
NO STORAGE SHEDS, AMENITIES OR BILLBOARDS TO BE ERRECTED ON VERGES/ PUBLIC RESERVES
NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DROPLINE OF RETAINED TREES
SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS AND CHECKED DAILY
SEDIMENT CONTROLS MUST BE RETAINED UNTIL REVEGETATION IS FULLY ESTABLISHED AFTER BUILDING HAS BEEN COMPLETED
DESIGNER ACCEPTS NO RESPONSIBILITY FOR BUILDER/ CONTRACTORS AND/ OR ANY OTHER PERSON(S) SAFETY. ANY PERSON(S) WHO ENTERS CONSTRUCTION SITE, DOES SO AT OWN RISK.
BUSHFIRE PROTECTION MEASURES (BUSHFIRE ATTACK LEVEL (BAL) : 29 BUILDING CONSTRUCTION MUST COMPLY WITH AS9999-2018 " CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

PROPOSED RESIDENCE ON LOT 56 93 HARCOURT CLOSE WOODBURY RIDGE SUTTON

FOR

J & K LEAHY

SHEET TITLE: LANDSCAPE MANAGEMENT PROTECTION PLAN SCALE: 1 : 600

PROJECT CODE	SHEET No	DATE	DRAWN
DPC1020	3 OF 11	17/12/2024	M.P

AREAS m ²	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	SHED :
P.COCHERE :	TOTAL AREA :

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Architectural
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MULTI-AWARD DESIGNER HIA & MBA WINNER AND FINALIST

COLOURED SHEET METAL ROOF @ 5°
PITCH WITH SISAL ADHERED TO BUILDING
BLANKET UNDER. ALL INSTALLED TO
MAN. SPECS.

COLOURED SHEET METAL WALL. ALL
INSTALLED TO MAN. SPECS.

600 WIDE EAVES TYPICAL, UNLESS
OTHERWISE SHOWN, WITH LINED RAKED
SOFFIT

FIXED PROJECTED COVERED AWNING
OVER PORCH WITH LINED SOFFIT

75mm EPS BOARD WITH 25mm BATTEN
SYSTEM RENDERED OVER TO FINE FINISH

NOMINAL 50mm THICK RANDOM
PATTERN ROCK CLADDING OVER CURVED
BRICKWORK

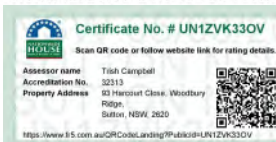
NOMINAL 50mm THICK RANDOM
PATTERN ROCK CLADDING OVER
NOMINAL 710x230 BRICK BLADE
COLUMNS

COLOURED SHEET METAL ROOF @ 5°
PITCH WITH SISAL ADHERED TO BUILDING
BLANKET UNDER. ALL INSTALLED TO
MAN. SPECS.

COLOURED SHEET METAL WALL. ALL
INSTALLED TO MAN. SPECS.

600 WIDE EAVES TYPICAL, UNLESS
OTHERWISE SHOWN, WITH LINED RAKED
SOFFIT

75mm EPS BOARD WITH 25mm BATTEN
SYSTEM RENDERED OVER TO FINE FINISH



75mm EPS BOARD WITH 25mm BATTEN
SYSTEM RENDERED OVER TO FINE FINISH
AND FEATURE PAINTED (SHOWN
HATCHED) TO COMPLEMENT RESIDENCE.

PRE-FINISHED COLOURED HALF ROUND
GLITTER AND FASCIA INLINE WITH "EAST
WING" GLITTER AND FASCIA.

MAINTAIN CLEARANCE FROM FASCIA TO
ROOF

NOMINAL 2400x1200W
TIMBER ENTRY DOOR

PRE-FINISHED COLOURED METAL
CORNER COVER PLATE, TO MATCH
WINDOW FINISH AND COLOUR

PRE-FINISHED COLOURED HALF ROUND
GLITTER AND FASCIA INLINE WITH "WEST
WING" GLITTER AND FASCIA.

MAINTAIN CLEARANCE FROM FASCIA TO
ROOF

1400 WIDE EAVE TO THIS NORTH
ROOF PLANE

NOMINAL 50mm THICK RANDOM
PATTERN ROCK CLADDING OVER
BRICKWORK

1000 WIDE EAVE TO THIS SOUTH ROOF
PLANE, WITH FASCIA AND GLITTER RAISED
300mm HIGHER THAN OTHER SOUTH
FASCIA AND GLITTER

MAINTAIN CLEARANCE FROM FASCIA TO
ROOF

FIXED KITCHEN WINDOW IN BETWEEN
JOINERY BENCH AND OVERHEAD
CUPBOARDS

NOMINAL 50mm THICK RANDOM
PATTERN ROCK CLADDING OVER
NOMINAL 230x900 BRICK BLADE

600x3200 AWNING HIGHLIGHT
WINDOWS

COLOURED SHEET METAL WALL. ALL
INSTALLED TO MAN. SPECS.

MAINTAIN CLEARANCE FROM FASCIA TO
ROOF

PRE-FINISHED COLOURED METAL COVER
PLATE, TO MATCH WINDOW FINISH AND
COLOUR

75mm EPS BOARD WITH 25mm BATTEN
SYSTEM RENDERED OVER TO FINE FINISH
AND FEATURE PAINTED (SHOWN
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PRE-FINISHED COLOURED HALF ROUND
GLITTER AND FASCIA INLINE WITH "WEST
WING" GLITTER AND FASCIA.

COLOURED SHEET METAL ROOF @ 5°
PITCH WITH SISAL ADHERED TO BUILDING
BLANKET UNDER. ALL INSTALLED TO
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COLOURED SHEET METAL WALL. ALL
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75mm EPS BOARD WITH 25mm BATTEN
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PRE-FINISHED COLOURED METAL
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GLITTER AND FASCIA INLINE WITH "EAST
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FIXED PROJECTED COVERED AWNING
OVER PORCH WITH LINED SOFFIT

COLOURED SHEET METAL WALL. ALL
INSTALLED TO MAN. SPECS.

75mm EPS BOARD WITH 25mm BATTEN
SYSTEM RENDERED OVER TO FINE FINISH



FRONT ELEVATION - SOUTH

REAR ELEVATION - NORTH

**PROPOSED RESIDENCE ON
LOT 56
93 HARCOURT CLOSE
WOODBURY RIDGE SUTTON**
FOR
J & K LEAHY

AREAS m²
LIVING UPPER :
LIVING LOWER :
GARAGE :
P.COCHERE :
VERANDAH :
PATIO :
PORCH :
PERGOLA :
BALCONY :
AL-FRESKO :
TOTAL AREA :

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Michael Piscone
**Architectural
DESIGNER**

SHEET TITLE			
ELEVATIONS			
PROJECT CODE	SCALE		
DPC1020	1 : 140		
SHEET No	DATE	DRAWN	
7 OF 11	17/12/2024	M.P	

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AUSTRALIAN STANDARDS AND THE RELEVANT AUTHORITIES REQUIREMENTS.

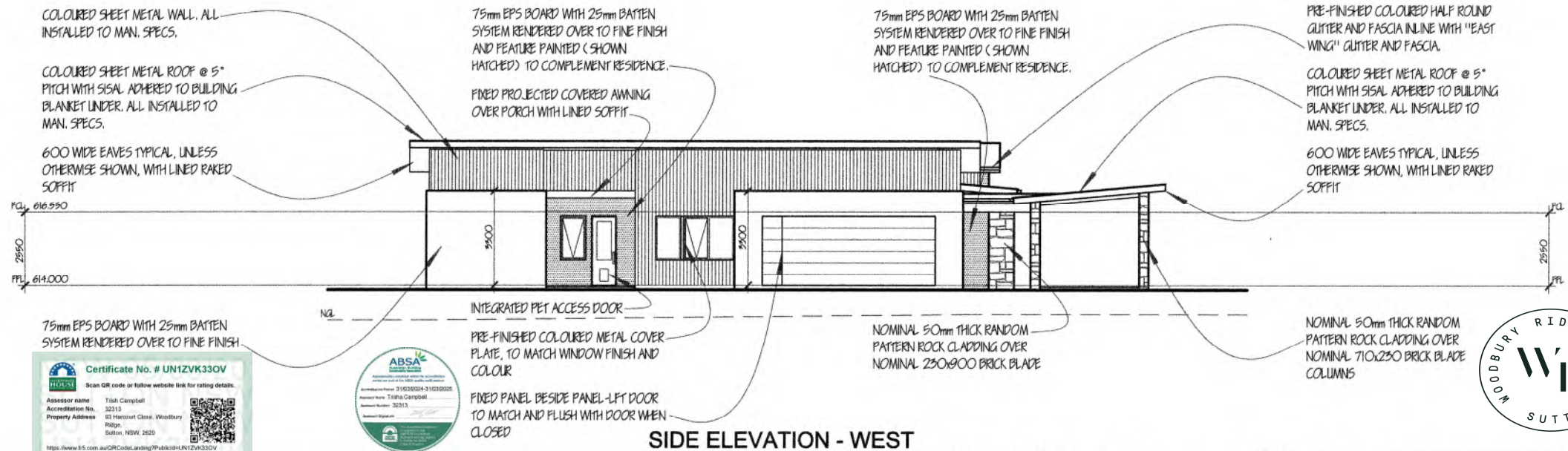
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MANUFACTURERS SPECIFICATIONS MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER
CONDITIONS APPLICABLE.

BUSHFIRE PROTECTION MEASURES:
BUSHFIRE ATTACK LEVEL (BAL) 29 BUILDING CONSTRUCTION MUST COMPLY WITH AS9999-2018
"CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"



SIDE ELEVATION - EAST



SIDE ELEVATION - WEST

NOTES:
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MANUFACTURERS SPECIFICATIONS MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER CONDITIONS APPLICABLE.

BUSHFIRE PROTECTION MEASURES:
BUSHFIRE ATTACK LEVEL (BAL) 29 BUILDING CONSTRUCTION MUST COMPLY WITH A69999-2018
"CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

SHEET TITLE			
ELEVATIONS			
PROJECT CODE	SCALE		
DPC1020	1 : 140		
SHEET No	DATE	DRAWN	
8 OF 11	17/12/2024	M.P	

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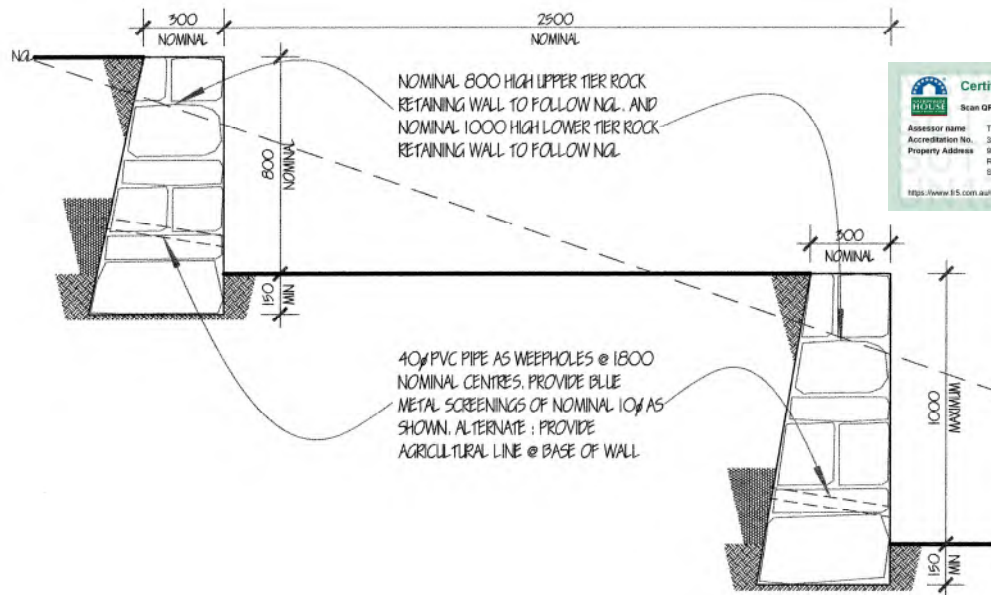
PROPOSED RESIDENCE ON
LOT 56
93 HARCOURT CLOSE
WOODBURY RIDGE SUTTON
FOR J & K LEAHY

AREAS m²
LIVING UPPER :
LIVING LOWER :
GARAGE :
P.COCHERE :
VERANDAH :
PATIO :
PORCH :
PERGOLA :
BALCONY :
AL-FRESCO :
TOTAL AREA :

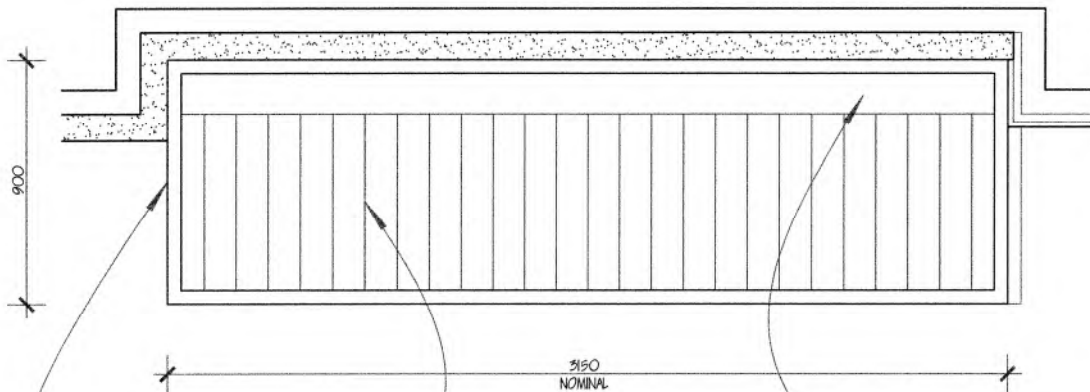
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Architectural
DESIGNER





TIERED RETAINING WALL DETAIL SCALE 1:20



LAUNDRY PORCH AWNING PLAN DETAIL SCALE - 1:20

COLOURED 50mm THICK INSULATED
PANEL ROOF PANELS @ 1.0° PITCH, ALL
INSTALLED TO MAN. SPECS.

NOMINAL 250x50 RHS PERIMETER
FRAME, TO ENGINEERS SPECS

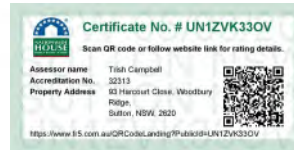
FLUSH JOINTING, SEAMLESS FINISH
SOFFIT LINING TO PORCH, NO PVC
MOLDDINGS

QUITTER TO ENGINEERS SPECS.

PROVIDE STEEL LINTEL IN FRAME AS
FIXING SUPPORT FOR COVERED AWNING

CUSTOM FLASHING

LAUNDRY PORCH AWNING SECTION DETAIL SCALE - 1:20



STANDARDS WHERE RELEVANT:
AS 1288 - CLASS IN BUILDINGS SELECTION AND INSTALLATION
AS 1562.1 - DESIGN AND INSTALLATION OF SHEET ROOF AND
WALL CLADDING - NCC PART 7.2
AS / NZS 1680 - ARTIFICIAL LIGHTING TO BATHROOMS, AIRLOCKS
& LAUNDRIES
AS 1684 - NATIONAL TIMBER FRAMING CODE - NCC PART HD6
AS 2047 - SELECTION & INSTALLATION ON WINDOWS
AS 2049 - ROOF TILES
AS 2090 - INSTALLATION OF ROOF TILES - NCC PART 7.3
AS / NZS 2589 - PLASTERBOARD LININGS
AS 2870 - RESIDENTIAL SLAB AND FOOTINGS, VAPOUR BARRIERS
& DAMP-PROOFING MEMBRANES
AS / NZS 2904 - DAMP-PROOF COURSE AND FLASHINGS
AS / NZS 2908.2 - FIBRE CEMENT LINING
AS / NZS 3000 - ELECTRICAL WORK BY LICENSED ELECTRICIAN
AS / NZS 3500 & 3 - DRAINAGE & ROOF PLUMBING - NCC PART 7.4
AS 3600 - CONCRETE STRUCTURES
AS 3660 - BARRIERS FOR SUBTERRANEAN TERMITES - NCC PART 3.4
AS 3700 - MASONRY IN BUILDINGS - NCC PART 5
AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL
BUILDING
AS 3786 - SMOKE ALARMS - NCC PART 9.5
AS 4055 - WIND LOADING FOR HOUSES
AS / NZS 4100 - STEEL STRUCTURES - NCC HD6
AS / NZS 4200.1 & 2 - SARKING & WALL WRAP
AS 4773.1 & 2 - MASONRY CONSTRUCTION DETAILS - NCC PART 5
AS / NZS 4859.1 - NCC PART 13.2
NCC PART 7.5.5 - EAVES & SOFFIT LININGS
NCC PART 7.5.6 - FLASHINGS TO WALL OPENINGS
NCC PART 7.5 - WALL CLADDING AND MAN. SPECS.
NCC PART 10.8 - MECHANICAL VENTILATION DISCHARGE AND ROOF
SPACE VENTILATION
NCC PART 11.2 - STAIR CONSTRUCTION
NCC PART 11.2.4 - SLIP RESISTANCE TO STAIRS & LANDINGS
NCC PART 11.2.5 - LANDINGS CONSTRUCTION
NCC PART 11.3 - BARRIERS & HANDRAILS
NCC PART 13.4 - EXTERNAL WINDOWS AND DOORS SEALED

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE
CLASSIFICATION AND MUST COMPLY WITH THE CURRENT VERSION OF
AS 2870 AND THE NCC.

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE
CURRENT VERSION OF THE TIMBER FRAMING CODE AS 1684 AND THE NCC.

ALL STRUCTURAL CONCRETE, TIMBERS AND STEEL TO ENGINEERS
SPECIFICATIONS AND DETAILS.

NOTES:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT VERSION NCC,
RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE RELEVANT AUTHORITIES
REQUIREMENTS.

ANY OUTDATED STANDARDS LISTED ARE TO BE TAKEN TO REFER TO THE CURRENT
EDITION.

MANUFACTURERS SPECIFICATIONS MEANS A CURRENT APPROVED SPECIFICATION
FOR USE UNDER CONDITIONS APPLICABLE.

BUSHFIRE PROTECTION MEASURES:
BUSHFIRE ATTACK LEVEL (BAL) 29 BUILDING CONSTRUCTION MUST COMPLY WITH
AS 9999-2018 "CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

ROCK RETAINING WALL TO BE VERIFIED BY ENGINEER

DETAIL MODIFICATION SUBJECT TO BUILDERS DISCRETION

MEASUREMENTS SHOWN WITHOUT TOLERANCES, BUILDER/ MANUFACTURER MUST
MEASURE ON SITE AND ALLOW SUITABLE TOLERANCES FOR AWNING TO FIT,
PRIOR TO FABRICATION



PROPOSED RESIDENCE ON LOT 56 93 HARCOURT CLOSE WOODBURY RIDGE SUTTON

FOR

J & K LEAHY

SHEET TITLE **DETAILS** SCALE **AS SHOWN**

PROJECT CODE	SHEET No	DATE	DRAWN
DPC1020	1 OF 1	17/12/2024	M.P

AREAS m ²	
LIVING UPPER :	PATIO :
LIVING LOWER:	PORCH :
GARAGE :	PERGOLA :
VERANDAH :	DECK :
ALFRESCO :	SHED :
P.COCHERE :	TOTAL AREA :

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Michael Piscone

**Architectural
DESIGNER**

MULTI-AWARD DESIGNER HIA & MBA WINNER AND FINALIST



FINISHES SCHEDULE FOR 93 HARCOURT CLOSE, WOODBURY RIDGE SUTTON

Below is the colour schedule for the primary dwelling:

- Roof - "Dark grey ";
- Fascia/gutter - " Dark grey";
- Front door - natural cedar;
- Garage door - prefinished metal “timber grain cedar” ;
- Rendered wall - "Off-white/Light grey";
- Sheet metal wall - "Dark grey";
- Feature rendered walls - "Dark grey";
- Window frames - to match colours used on the roof/walls; and
- Feature stone walls - natural bluestone.

Carport, Shed and Veranda – to match the colours used on the primary dwelling.